

Location Map



February 28, 2022

City of Benbrook Planning Department
911 Winscott Road
Benbrook, Texas 76126

Re: Benbrook North Project Narrative

Dear Planning and Zoning Commissioners:

Project Background Information

Benbrook North is a planned business park at the Northeast Corner of Winscott Road and I-20. The Development encompasses the construction of (4) four speculative office/warehouses for e-commerce users, research & development, local, regional & national businesses, warehousing, and distribution. The size of the buildings will range from 80,000 to 377,000 square feet and designed to be leased to multiple tenants of various sizes.

City's Goal of Attractiveness

Benbrook North meets the city goals of attractive, human scale architectural style by providing a glass enhanced entrances with multiple levels of glass and entry features. Each of the building entries has a continuous width canopy that helps humanize the double volume glass entrance. The double volume glass entrances are designed with approximately 25% more glazing than the average commerce facility for these uses.

We have included glass and material features that break the front façade into thirds, thus avoiding long plain elevations that's typical of the old industrial developments. The side facades have been equally treated with enhanced glazing, along with vertical and horizontal features. The rear façades are the most challenging area of each project because there has to be a balance between aesthetics and functionality, and it is our belief that we have achieved both. The façade has been articulated with masonry and window features at multiple locations and at the same time allowing the full use of the dock doors and truck court without compromising the safety of traffic.

Other Standards

Benbrook North has incorporated colors to articulate and enhance the building mass to break up the building façade, specifically at rear of the building where building breaks affect the safety and functionality of delivery vehicles and trucks accessing the service area. The sides of the buildings are also enhanced with wall features and additional glass, bringing flavor to what could be a monochrome wall.

Meeting the intent and Spirit of Chapter 17

Benbrook North meets the spirit and intent of Chapter 17 with the use of multiple features at the front and side facades. The front façade has multiple areas that are horizontally and vertically articulated. The double volume glazed entry is vertically articulated at multiple locations. The column of punch out windows is articulated with

metal trim at top and sides of the windows breaking the façade plain. The glazed main entrance plain is articulated by a continuous canopy that extends approximately 4 ft. from the glazing along the entire entry. The main entrances are framed by two window towers treated with different color and texture helping break the façade plain. The space between entrances has multiple material and glazing features that break horizontally with approximately 4'-0" in multiple locations. The features at thirds of the length of the building are coordinated to have small size and large windows to provide dynamic aesthetic view. The wall features are enhanced with an accent color that helps break the overall length of the building façade into smaller pieces and thus meeting the spirit of Chapter 17 with horizontal and vertical breaks. Additionally, the development will have enhanced landscaping throughout the business park, along with a retention pond and water fountain at the main entrance from the I20 frontage road.

Positive and Negative Impacts

Benbrook North will bring a positive impact to the surrounding properties by introducing a well-designed business park that includes more articulation and glass than one would typically see from similar projects across the DFW metroplex. The double volume entry and side column of windows have an average of approximately 25% additional glass than a project built in conformance with the architectural standard. In addition to vertical and horizontal articulation, the development is enhanced with multiple locations of earth tone colors, texture, and materials, as well as multiple window sizes and locations. These would not have been included on a project built in conformance with the architectural standards, thus providing a higher standard than would be typical.

City Goals

Benbrook North will meet the goals of the city by providing a high-quality business park & employment hub, increased tax revenue, and a benchmark of architectural fabric for future developments and façade treatment.

Convenience and Economic Benefit

The proposed design of Benbrook North will not necessarily serve as convenience but could be viewed as an enhancement to the City of Benbrook defining the color, character, and architectural fabric along the 1-20 corridor. The percentage of glass and other features will define the character and quality of future business parks.

Benbrook North will provide convenience of new employment options for citizens of Benbrook, class A office/warehouse space, increased tax revenue, and additional e-commerce options for easy timely delivery. The economic benefit is estimated at 578 jobs producing \$25 million annually in wages and increased tax revenue of at least \$30 million dollars over 20 years. Another benefit will be additional employees in the area during the daytime to help support local businesses and restaurants.

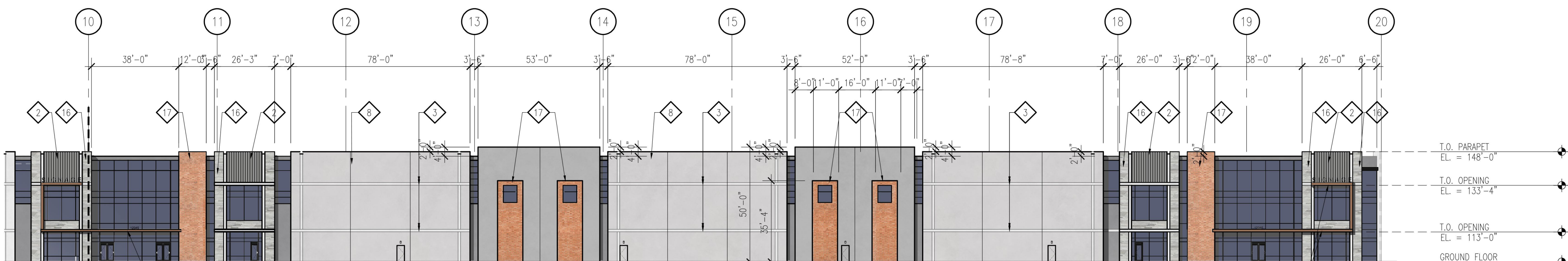
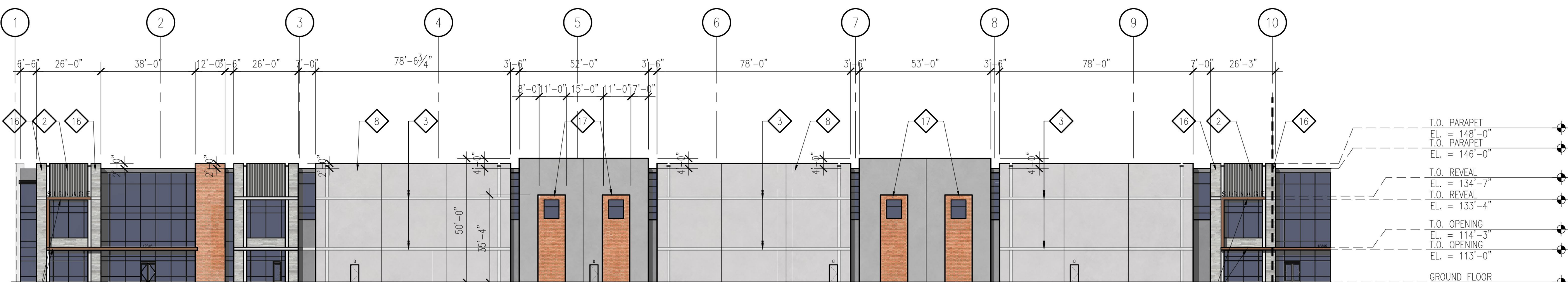
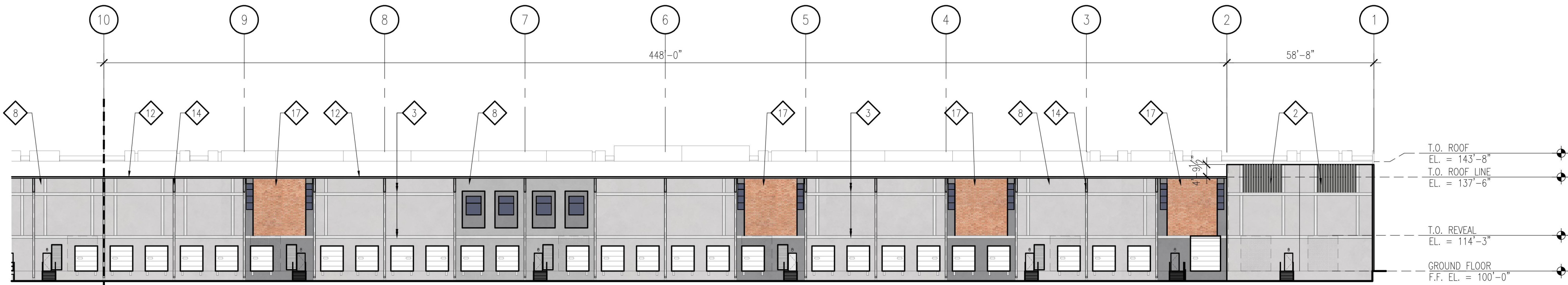
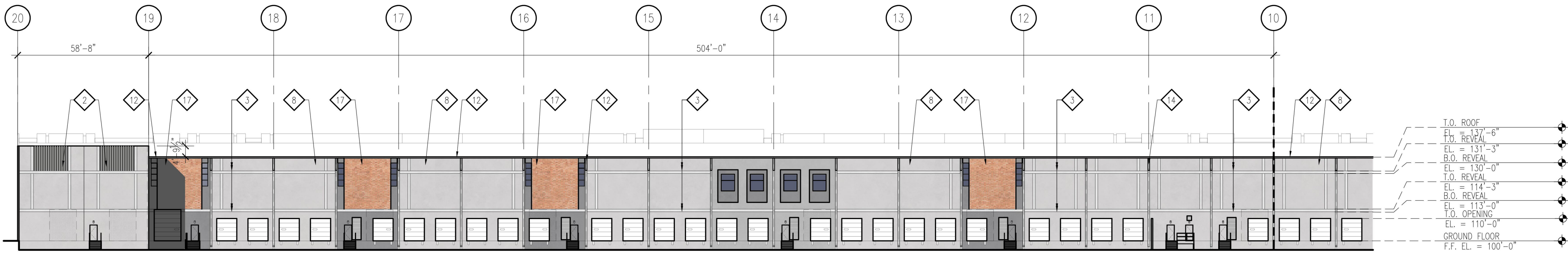
In summary, Benbrook North will be a thoughtful business park that exceeds architectural standards, will be a trend setting project for the area, and provide significant economic impact. Thank you for your consideration.

Sincerely,

Ignacio Anguiano
Project Manager
GSR Andrade Architects

EXTERIOR ELEVATION KEYNOTES:

- 2 TEXTURE/SPECIAL VERTICAL FORMLINER ON CONCRETE TILT WALL PANELS
- 3 HORIZONTAL AND VERTICAL REVEALS
- 5 PREFABRICATED METAL CANOPY, FASCIA TO MATCH STOREFRONT COLOR (DARK BRONZE)
- 8 TEXTURED CONCRETE TILT WALL PANEL (PAINT)
- 12 CONTINUOUS PREFINISHED GUTTER SYSTEM
- 14 RECESSED METAL DOWNSPOUTS
- 16 PRE FINISH COLOR (MATCH PAINT - 1)
- 18 SIMULATED STONE PLANK VENEER
- 17 SIMULATED THIN BRICK VENEER
- 19 PREFABRICATED METAL TRIM FASCIA TO MATCH STOREFRONT COLOR (DARK BRONZE)



- HEIGHT OF ELEVATION: 38'-6"
- PROJECTING OFFSET REQUIRED: 15'X38.5'=5'-9"
- PROJECTING OFFSET PROVIDED: 4'-9"
- DURATION OF ADJACENT WALL: 58'-8"
- DURATION OF OFFSET REQUIRED: 25'X58.6'=14'-7"
- DURATION OF OFFSET PROVIDED: 1125'
- MAX. DISTANCE WITHOUT OFFSET: 3X50'=150'

- HEIGHT OF ELEVATION: 50'
- PROJECTING OFFSET REQUIRED: 15'X50'=7'-6"
- PROJECTING OFFSET PROVIDED: 4'-0"
- DURATION OF ADJACENT WALL: 78'
- DURATION OF OFFSET REQUIRED: 25'X78'=19'-6"
- DURATION OF OFFSET PROVIDED: 78'
- MAX. DISTANCE WITHOUT OFFSET: 3X50'=150'

- HEIGHT OF ELEVATION: 50'
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- MAX. DISTANCE WITHOUT OFFSET: 3X50'=150'

INTERIM REVIEW DOCUMENTS
Fernando J. Andrade,
TX. #17868, 12-15-21
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Permit, or Construction.

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Structural Engineer
Mechanical Engineer
Electrical Engineer
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BENBROOK NORTH
BUILDING 1
BENBROOK, TEXAS

PROJECT NO.: 2995
DATE: DECEMBER 15, 2021
REVISIONS:

NO.	DATE	DESCRIPTION
1	12/15/21	ISSUE FOR PRICING
2	2/09/22	ISSUE FOR SITE PLAN SUBMITTAL
3	2/28/22	ISSUE FOR SITE PLAN EXCEPTIONS
4		
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A4.00
EXTERIOR ELEVATION

EXTERIOR ELEVATION KEYNOTES:

- 2

TEXTURE/SPECIAL VERTICAL FORMLINER ON CONCRETE TILT WALL PANELS
- 3

HORIZONTAL AND VERTICAL REVEALS
- 5

PREFABRICATED METAL CANOPY, FASCIA TO MATCH STOREFRONT COLOR (DARK BRONZE)
- 8

TEXTURED CONCRETE TILT WALL PANEL (PAINT)
- 12

CONTINUOUS PREFINISHED GUTTER SYSTEM
- 14

RECESSED METAL DOWNSPOUTS
PRE FINISH COLOR (MATCH PAINT - 1)
- 16

SIMULATED STONE PLANK VENEER
- 17

SIMULATED THIN BRICK VENEER
- 18

PREFABRICATED METAL TRIM FASCIA
TO MATCH STOREFRONT COLOR (DARK BRONZE)

- HEIGHT OF ELEVATION:

51'
- PROJECTING OFFSET REQUIRED:

15'X51'=7'-7"
- PROJECTING OFFSET PROVIDED:

2'-6"
- DURATION OF ADJACENT WALL:

50'
- DURATION OF OFFSET REQUIRED:

25'X50'=12'-6"
- DURATION OF OFFSET PROVIDED:

75'
- MAX. DISTANCE WITHOUT OFFSET:

3X75'=225'

- HEIGHT OF ELEVATION:

51'
- PROJECTING OFFSET REQUIRED:

15'X51'=7'-7"
- PROJECTING OFFSET PROVIDED:

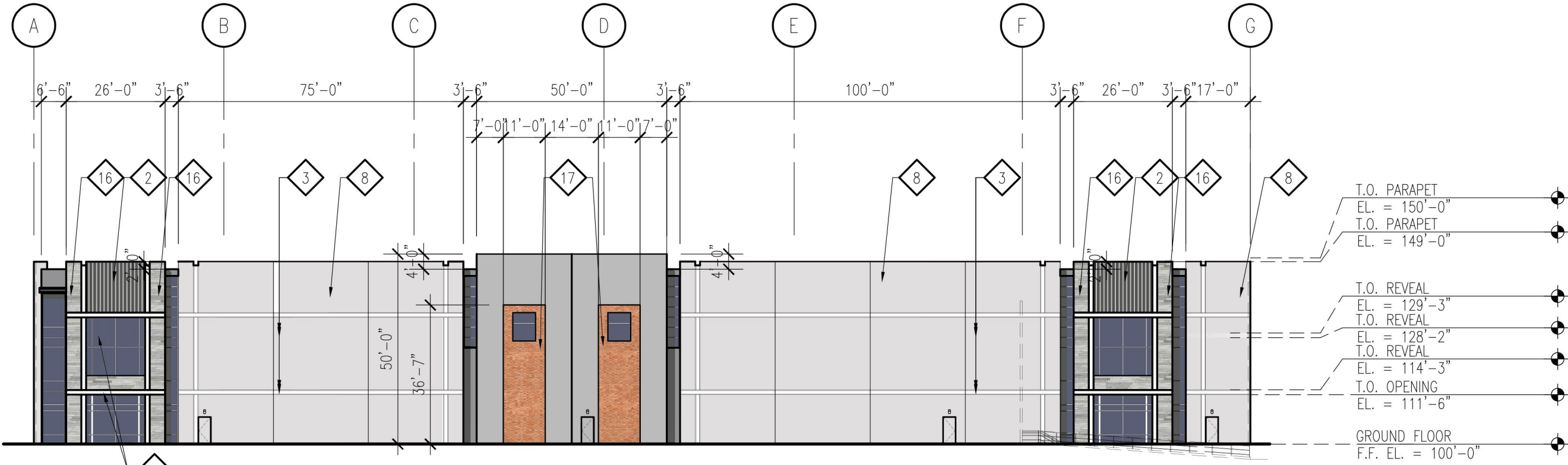
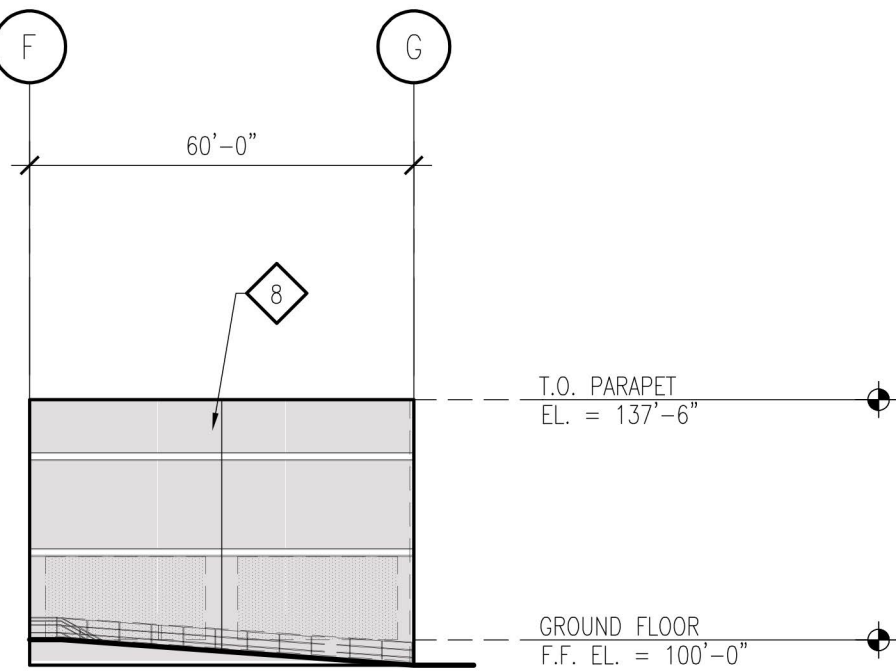
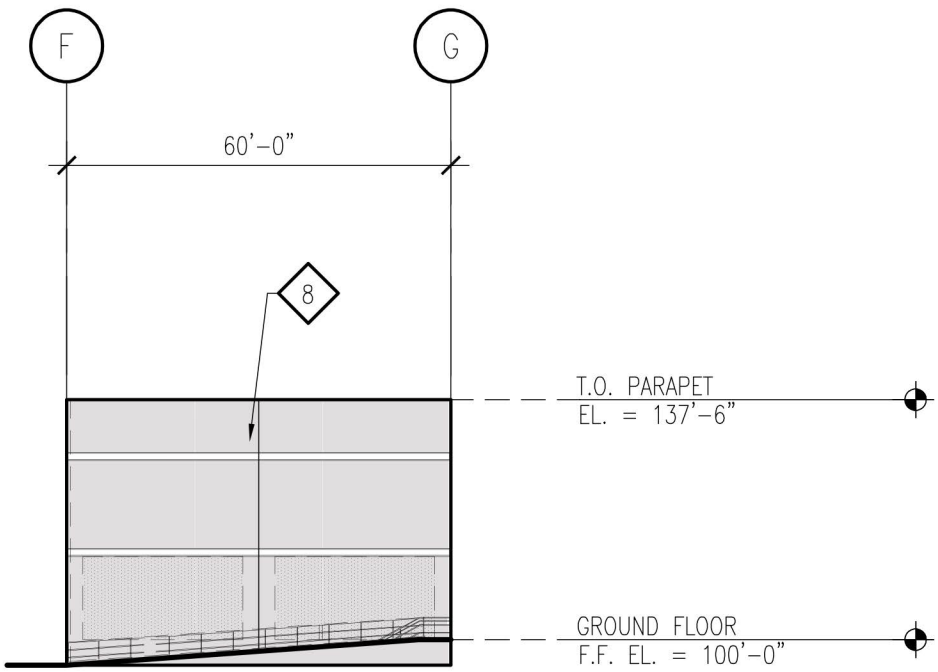
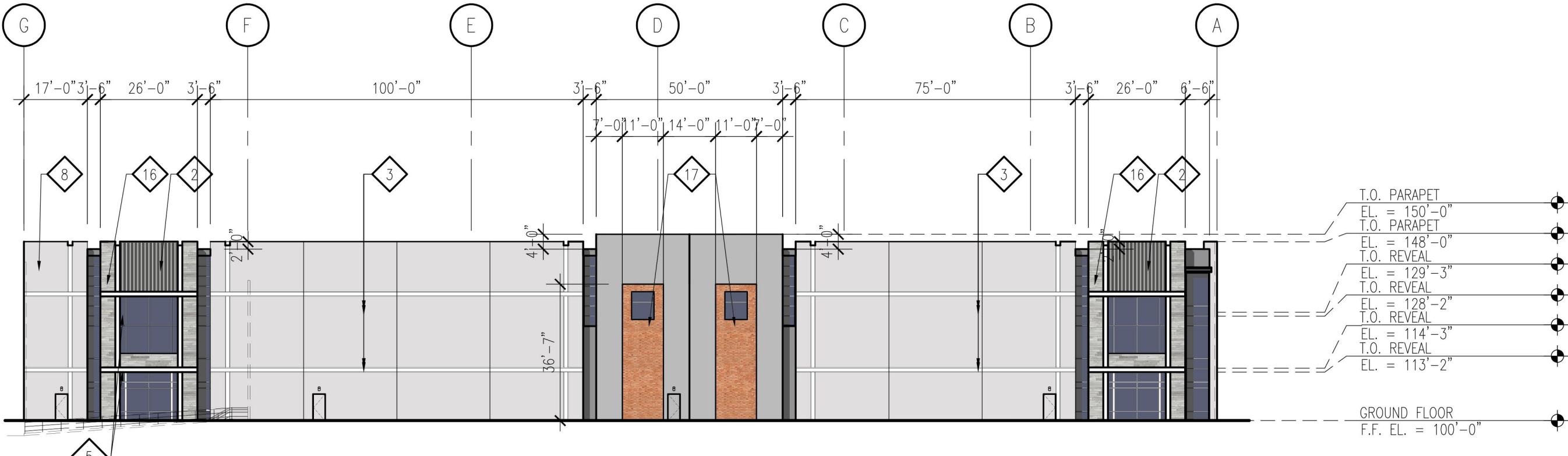
2'-6"
- DURATION OF ADJACENT WALL:

50'
- DURATION OF OFFSET REQUIRED:

25'X50'=12'-6"
- DURATION OF OFFSET PROVIDED:

75'
- MAX. DISTANCE WITHOUT OFFSET:

3X75'=225'



GSR-Andrade Architects

Architect

Kimley-Horn

Civil Engineer

Hunt and Joiner, Inc.

Structural Engineer

Mechanical Engineer

Electrical Engineer

Plumbing Engineer

Kimley-Horn

Landscape Architect

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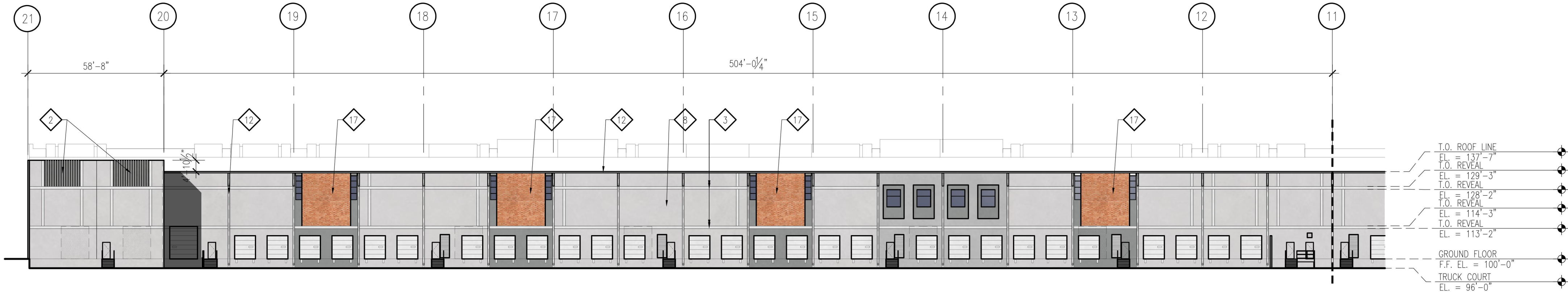
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- 2 TEXTURE/SPECIAL VERTICAL FORMLINER ON CONCRETE TILT WALL PANELS
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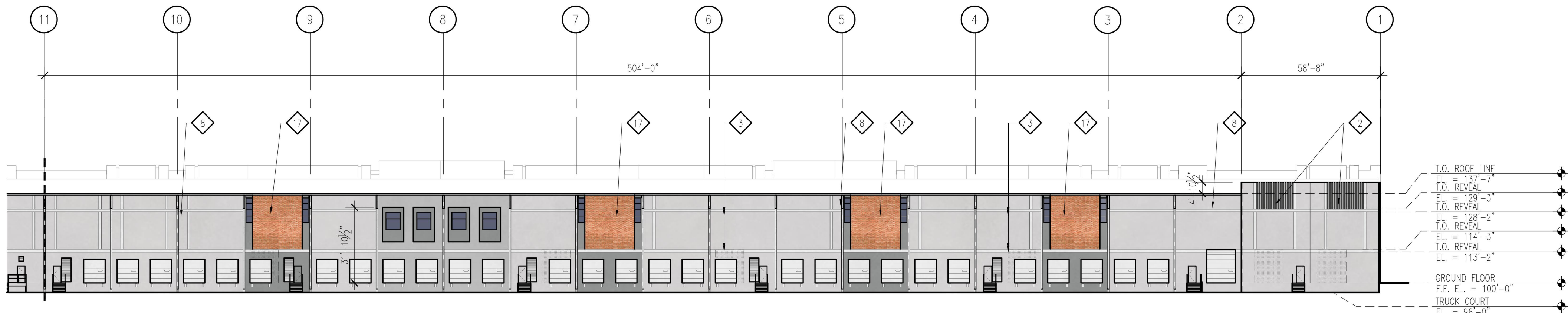
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- PROJECTING OFFSET REQUIRED: 150X38.5'=5'-9"
- PROJECTING OFFSET PROVIDED: 4'-10"
- DURATION OF ADJACENT WALL: 58'-8"
- DURATION OF OFFSET REQUIRED: 25X58.6'=14'-7"
- DURATION OF OFFSET PROVIDED: 1125'
- MAX. DISTANCE WITHOUT OFFSET: 3X1125'=3375'

- HEIGHT OF ELEVATION: 51'
- PROJECTING OFFSET REQUIRED: 150X51'=7'-8"
- PROJECTING OFFSET PROVIDED: 4'-0"
- DURATION OF ADJACENT WALL: 78'
- DURATION OF OFFSET REQUIRED: 25X78'=19'-6"
- DURATION OF OFFSET PROVIDED: 106'
- MAX. DISTANCE WITHOUT OFFSET: 3X106'=318'

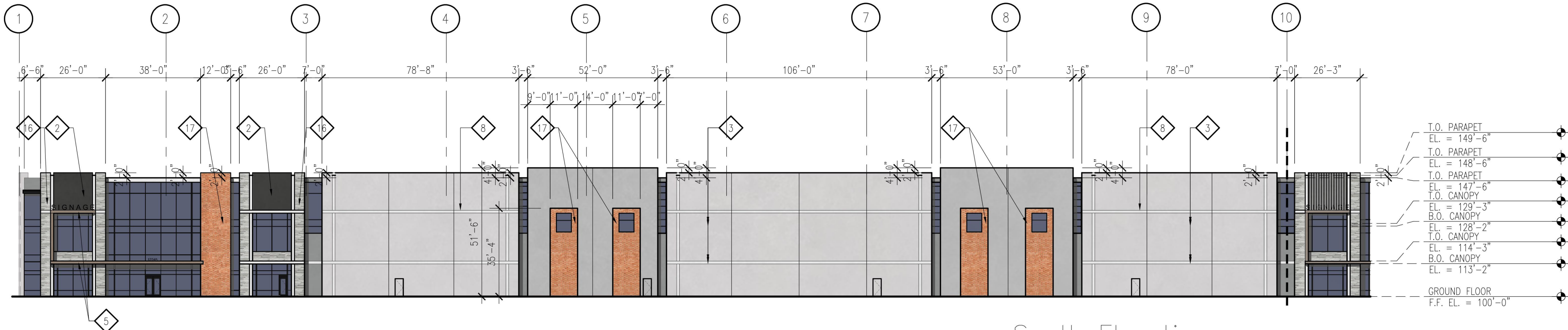
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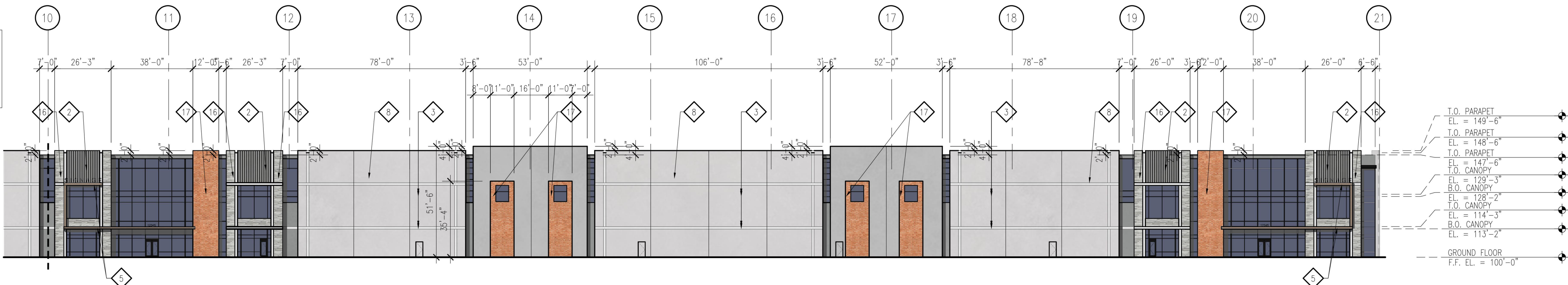
04 North Elevation
SCALE: 1" = 30'-0"



03 North Elevation
SCALE: 1" = 30'-0"



02 South Elevation
SCALE: 1" = 30'-0"



01 South Elevation
SCALE: 1" = 30'-0"

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BENBROOK NORTH
BUILDING 2
BENBROOK, TEXAS

PROJECT NO.: 2995
DATE: DECEMBER 15, 2021
REVISIONS:

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EXTERIOR ELEVATION

EXTERIOR ELEVATION KEYNOTES:

- 2

TEXTURE/SPECIAL VERTICAL FORMLINER ON CONCRETE TILT WALL PANELS
- 3

HORIZONTAL AND VERTICAL REVEALS
- 6

PREFABRICATED METAL CANOPY, FASCIA TO MATCH STOREFRONT COLOR (DARK BRONZE)
- 8

TEXTURED CONCRETE TILT WALL PANEL (PAINT)
- 12

CONTINUOUS PREFINISHED GUTTER SYSTEM
- 14

RECESSED METAL DOWNSPOUTS
PRE FINISH COLOR (MATCH PAINT - 1)
- 16

SIMULATED STONE PLANK VENEER
- 17

SIMULATED THIN BRICK VENEER
- 18

PREFABRICATED METAL TRIM FASCIA
TO MATCH STOREFRONT COLOR (DARK BRONZE)

Fernando Andrade, AIA Architect
Kimley-Horn Civil Engineer
Hunt and Joiner, Inc. Structural Engineer
Mechanical Engineer
Electrical Engineer
Plumbing Engineer
Kimley-Horn Landscape Architect

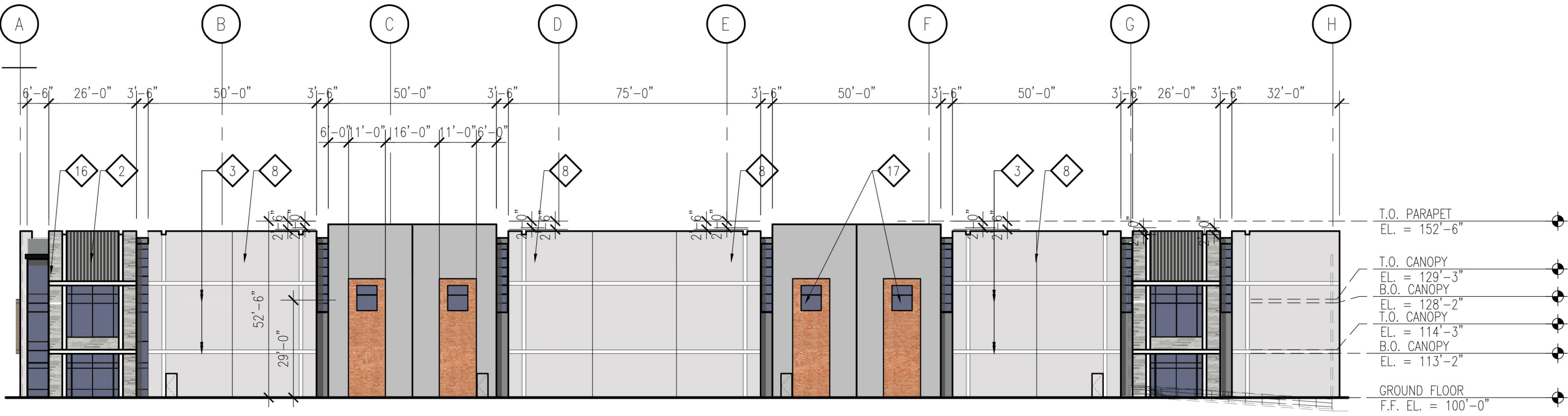
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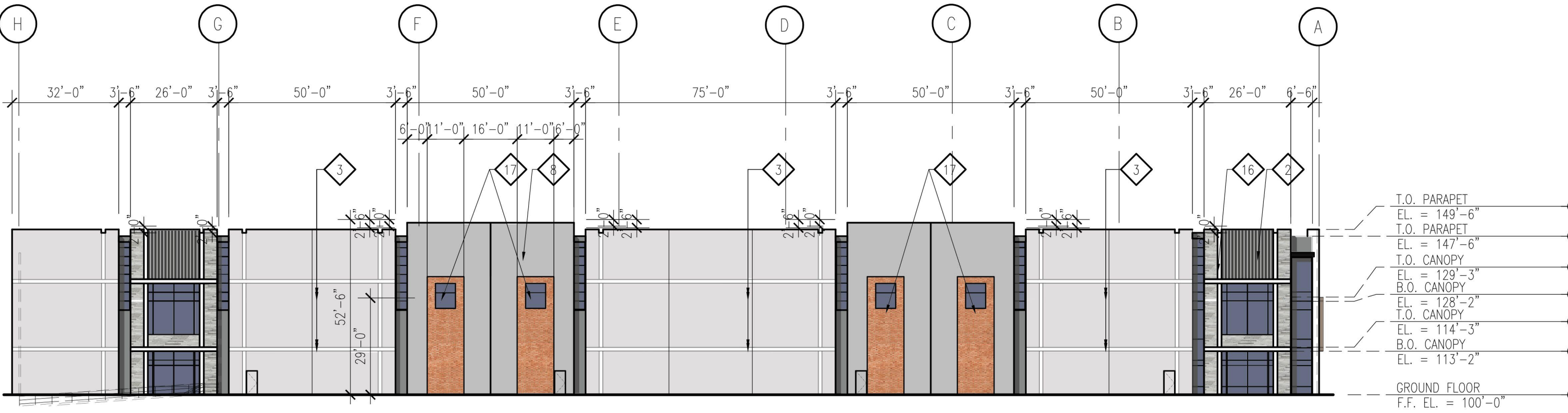
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- HEIGHT OF ELEVATION: 52'
- PROJECTING OFFSET REQUIRED: 15% \times 52'=7'-9"
- PROJECTING OFFSET PROVIDED: 2'-6"
- DURATION OF ADJACENT WALL: 50'
- DURATION OF OFFSET REQUIRED: 25% \times 50'=12'-6"
- DURATION OF OFFSET PROVIDED: 75'
- MAX. DISTANCE WITHOUT OFFSET: 3 \times 52'=156'

- HEIGHT OF ELEVATION: 52'
- PROJECTING OFFSET REQUIRED: 15% \times 52'=7'-9"
- PROJECTING OFFSET PROVIDED: 2'-6"
- DURATION OF ADJACENT WALL: 50'
- DURATION OF OFFSET REQUIRED: 25% \times 50'=12'-6"
- DURATION OF OFFSET PROVIDED: 75'
- MAX. DISTANCE WITHOUT OFFSET: 3 \times 52'=156'



02 East Elevation
SCALE: 1" = 30'-0"



01 West Elevation
SCALE: 1" = 30'-0"

BENBROOK NORTH
BUILDING 2
BENBROOK, TEXAS

PROJECT NO.: 2995

DATE: DECEMBER 15, 2021

REVISIONS:

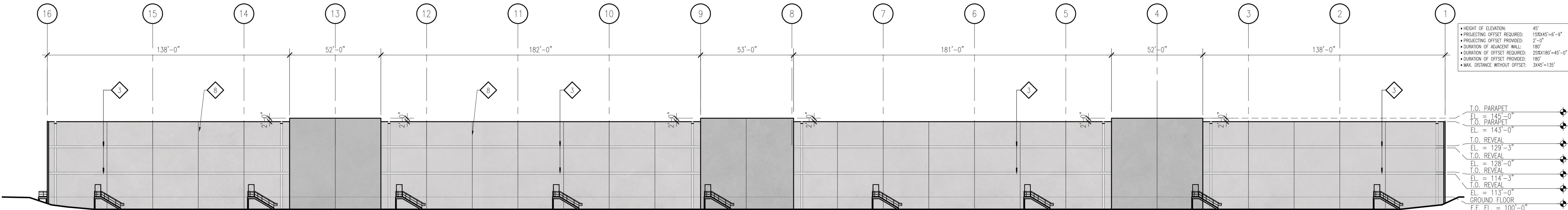
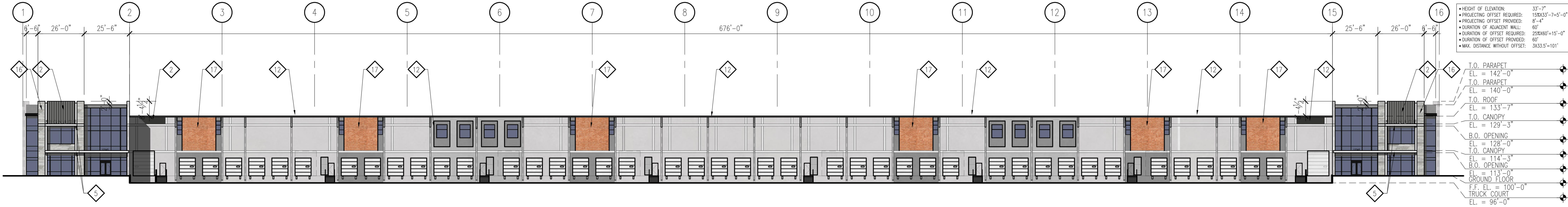
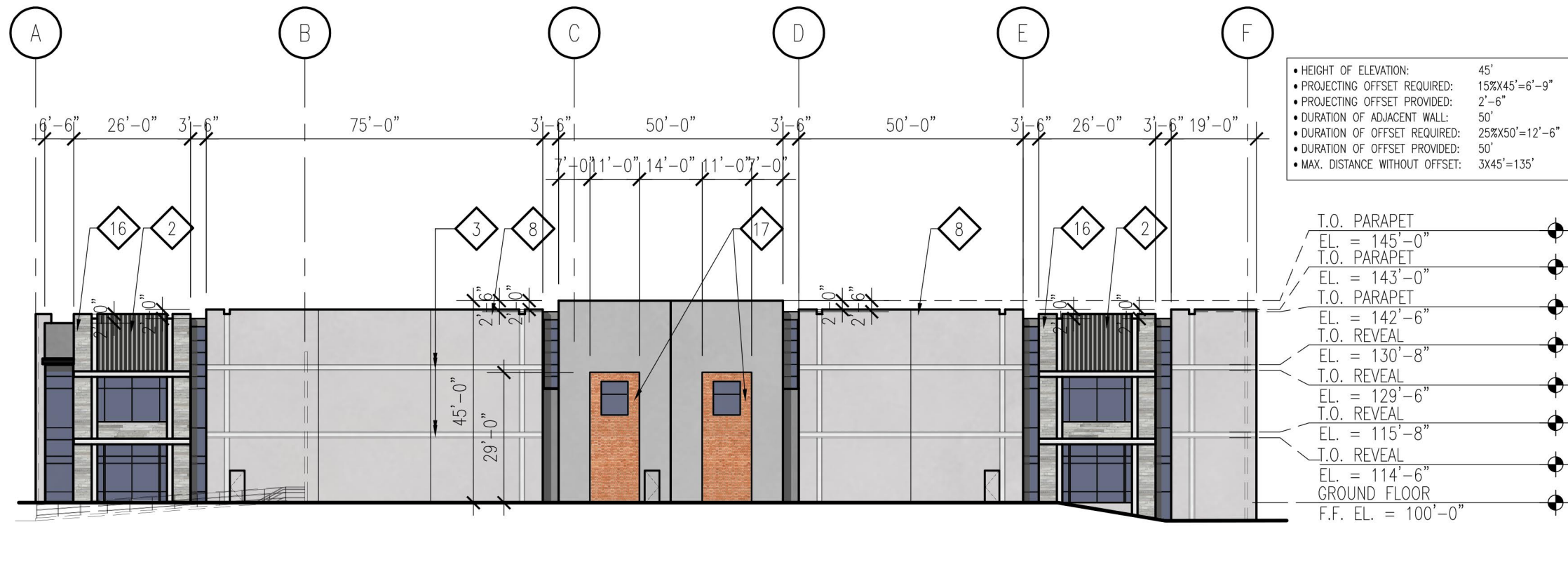
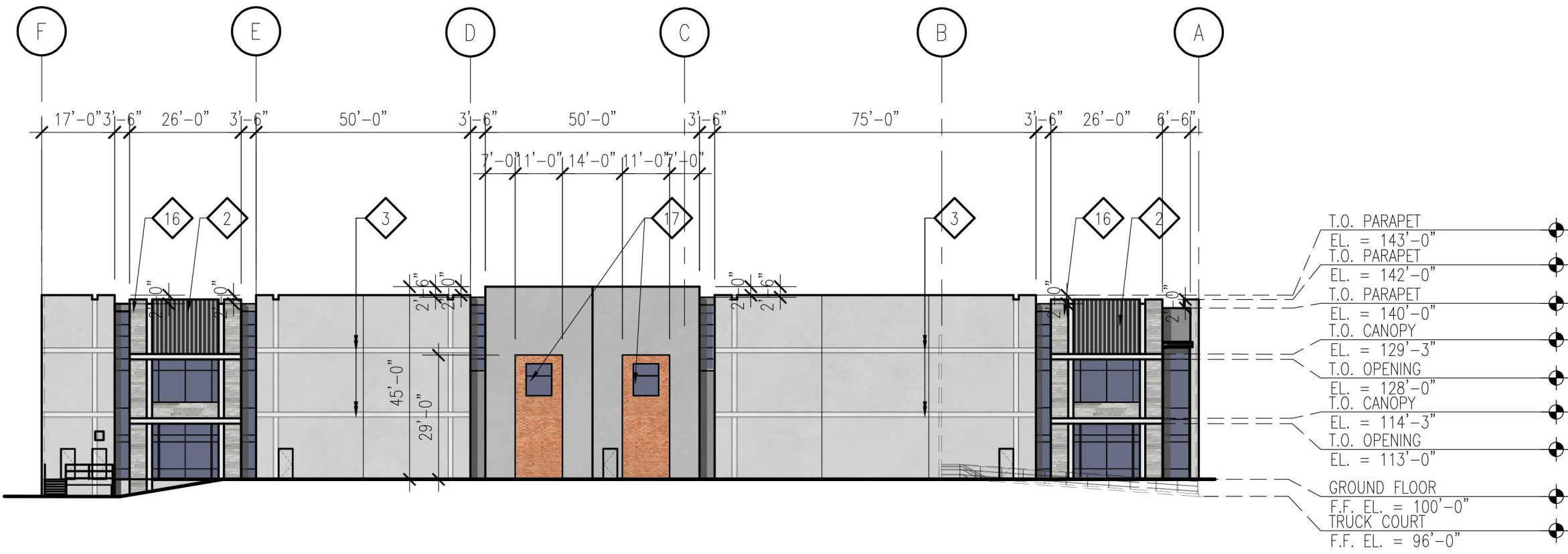
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A4.03
EXTERIOR ELEVATION

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- HEIGHT OF ELEVATION: 45'
- PROJECTING OFFSET REQUIRED: 15X(45'-6'-9")
- PROJECTING OFFSET PROVIDED: 2'-4"
- DURATION OF ADJACENT WALL: 50'
- DURATION OF OFFSET REQUIRED: 25X(50'-12'-6")
- DURATION OF OFFSET PROVIDED: 50'
- MAX. DISTANCE WITHOUT OFFSET: 3X(45')=135'



Fernando Andrade, AIA
Architect
Kimley-Horn
Civil Engineer
Structural Engineer
Mechanical Engineer
Electrical Engineer
Plumbing Engineer
Landscape Architect

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BENBROOK NORTH
BUILDING 3
BENBROOK, TEXAS

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Fernando Andrade, AIA

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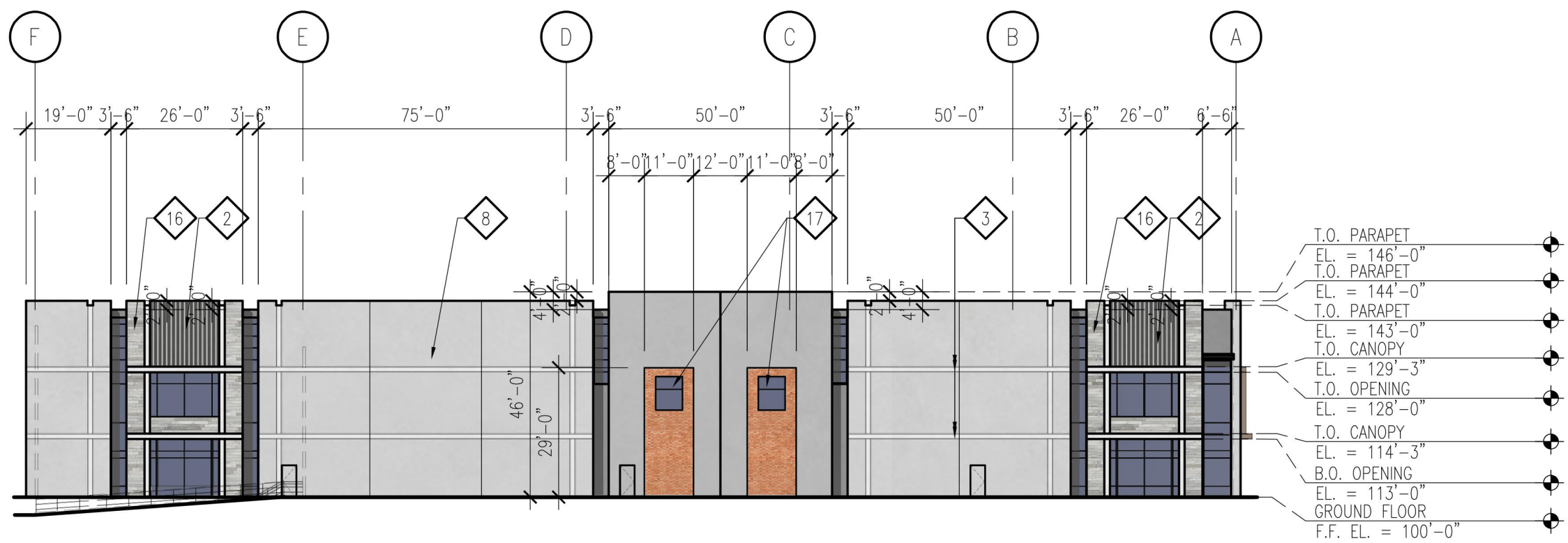
Kimley-Horn

Landscape Architect

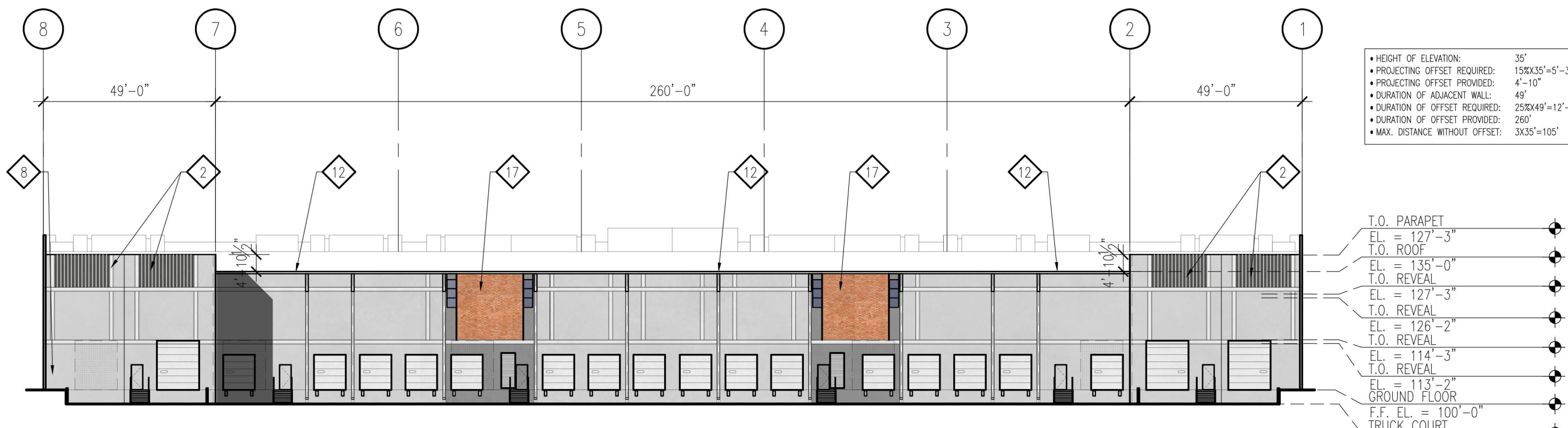
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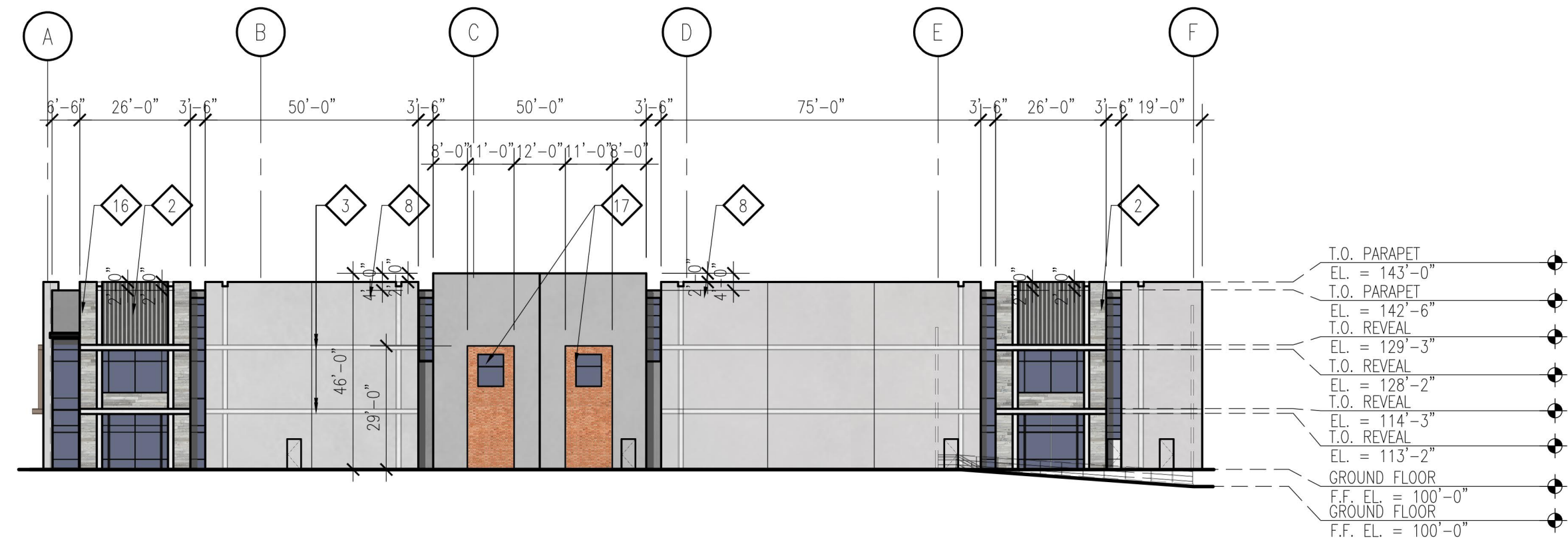
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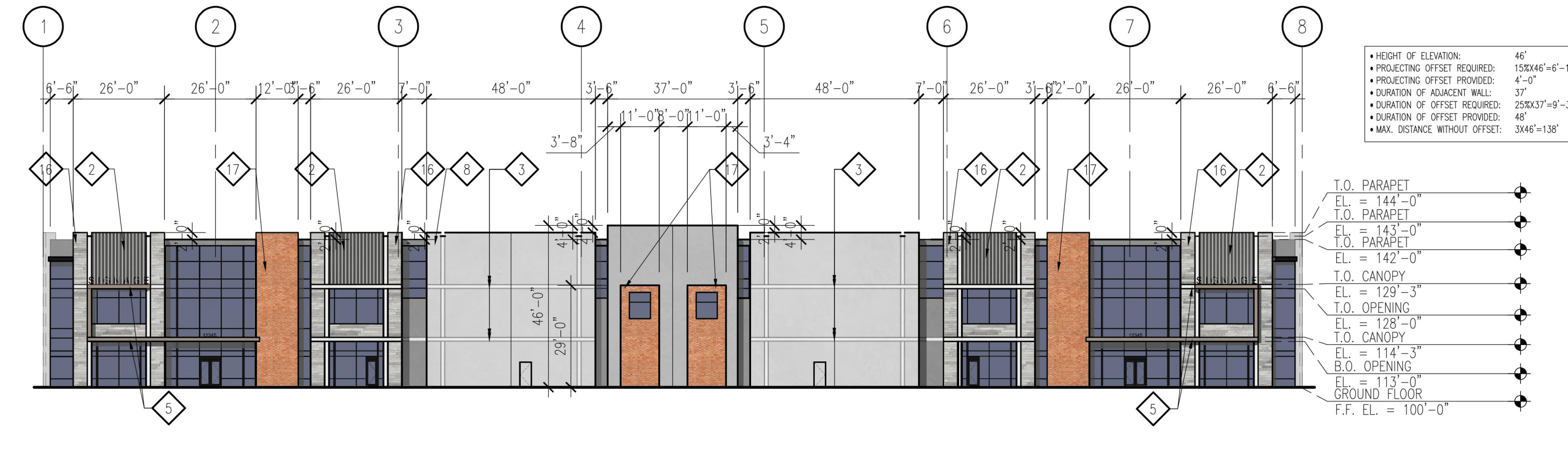
04 North Elevation
SCALE: 1" = 30'-0"



03 East Elevation
SCALE: 1" = 30'-0"



02 South Elevation
SCALE: 1" = 30'-0"



01 West Elevation
SCALE: 1" = 30'-0"

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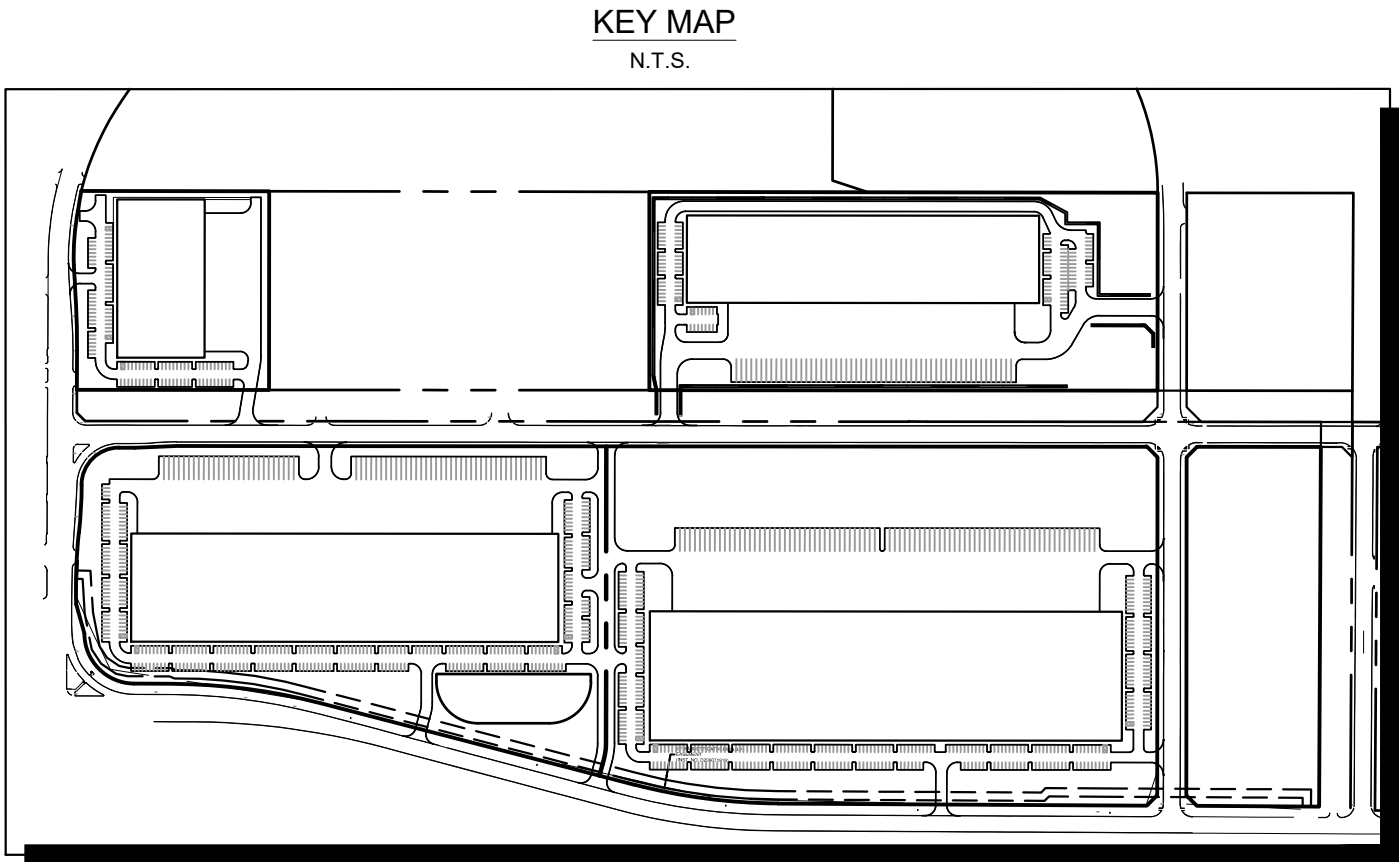
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A4.05
EXTERIOR ELEVATION

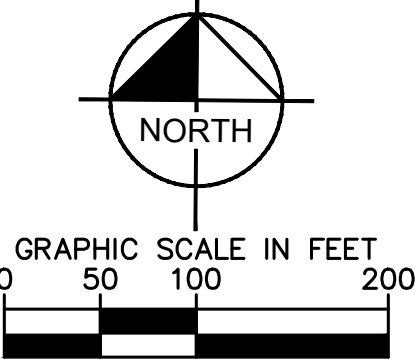
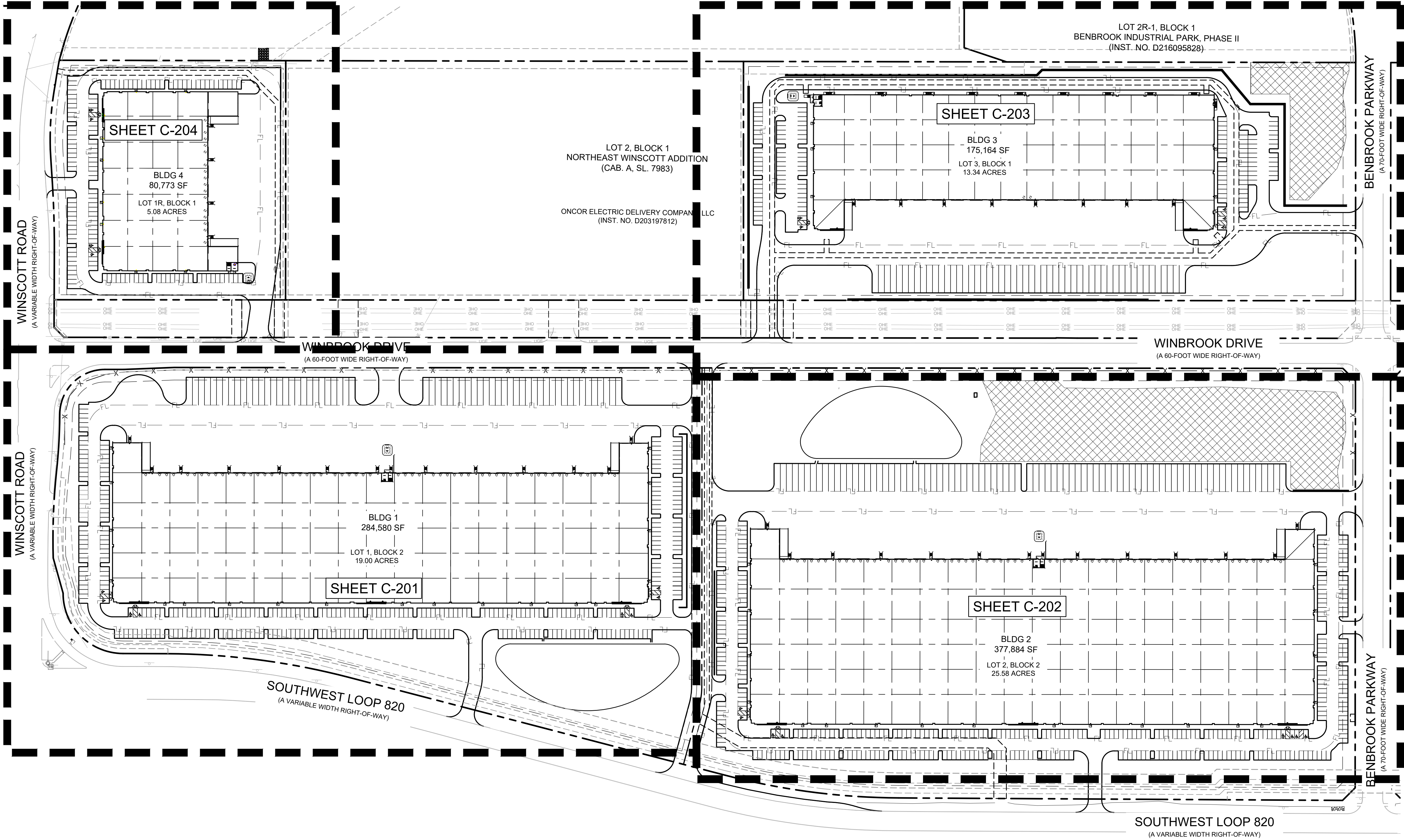
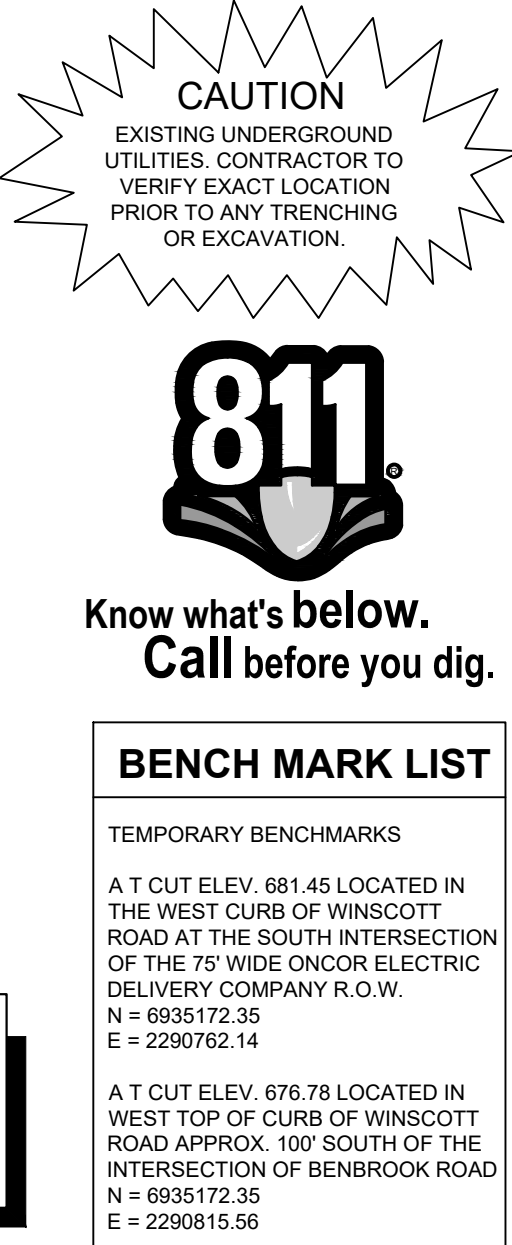


Overall Site Data					
General			Required		Proposed
Proposed Use	Warehouse/ Office		Setbacks		
Existing Zone District	PD - G-Commerce		Front Setback	25 Ft.	Ref. Each
	Site		Side Setback	10 Ft.	Ref. Each
Lot 1, Block 2		19.00 Acres	Rear Setback	10 Ft.	Ref. Each
Lot 2, Block 2		25.58 Acres	Parking		
Lot 3, Block 1		13.34 Acres	Total Spaces		
Lot 1R, Block 1		5.08 Acres	Building 1	143	336
Gross Site Area		63.00 Acres	Building 2	189	368
	Building		Building 3	117	129
Building 1		284,580 Sq. Ft	Building 4	54	131
Building 2		377,884 Sq. Ft	Total Parking	503	964
Building 3		175,164 Sq. Ft			
Building 4		80,773 Sq. Ft	Notes: Reference individual sheets for additional site and parking information		
Total Building Area		918,401 Sq. Ft			

- ## KEY NOTES
- EXISTING 6" CURB.
 - CONNECT TO EXISTING CURB
 - PROPOSED ACCESSIBLE HC PARKING STALLS. SEE PAVING DETAILS SHEET (TYP.)
 - PROPOSED HC SIGNS SEE PAVING DETAILS SHEET (TYP.)
 - PROPOSED 4" WHITE PAINTED PARKING STALL STRIPING
 - PROPOSED 4" WHITE PAINTED TRAFFIC STRIPES @ 45° SPACED AT 2.0' O.C. SEE PAVING DETAILS SHEET (TYP.)
 - SAWCUT 1.5' AND CONNECT TO EXISTING CONCRETE PAVEMENT. CONSTRUCT LONGITUDINAL BUTT JOINT (SEE PAVING DETAILS SHEET) AND MATCH EXISTING PAVEMENT ELEVATION.
 - PROPOSED SIDEWALK. SEE LANDSCAPE PLANS.
 - PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS BY OTHERS FOR DETAILS.
 - PROPOSED 6" CURB. SEE PAVING DETAILS SHEET (TYP.)
 - PROPOSED FIRE LANE STRIPING (TYP.)
 - INSTALL BOLLARD
 - INSTALL STAIRWAY. SEE ARCH. PLANS FOR DETAILS (TYP.)
 - GROUTED RIP RAP STRIP
 - PROPOSED 12" CURB. SEE PAVING DETAILS SHEET (TYP.)
 - EXISTING FIRE HYDRANT
 - STOP SIGN
 - DOCK DOORS



LEGEND	
—— FL ——	PROPOSED FIRE LANE STRIPING
- - - - -	EXISTING/ PROPOSED EASEMENT
—— X ——	PROPOSED 8' TALL SCREEN WALL PER OWNER SPEC.
—— ———	SETBACK LINE



Kimley»»Horn
801 CHERRY ST., UNIT 11, STE 1300, FORT WORTH, TX 76102
PHONE: 817-335-6511 FAX: 817-335-5070
TEXAS REGISTERED ENGINEERING FIRM F-928



PROJECT NO. 063411012
DATE: FEBRUARY 2022
SCALE: AS SHOWN
DESIGNED BY: KHA
DRAWN BY: KHA
CHECKED BY: KHA

BENBROOK INDUSTRIAL PARK

OVERALL SITE PLAN

C-200

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WINSCOTT ROAD
(A VARIABLE WIDTH RIGHT-OF-WAY)

MATCH LINE: SHEET C-202

CAUTION
EXISTING UNDERGROUND
UTILITIES. CONTRACTOR TO
VERIFY EXACT LOCATION
PRIOR TO ANY TRENCHING
OR EXCAVATION.



Know what's **below**.
Call before you dig.

BENCH MARK LIST

TEMPORARY BENCHMARKS

A T CUT ELEV. 681.45 LOCATED IN
THE WEST CURB OF WINSOTT
ROAD AT THE SOUTH INTERSECTION
OF THE 75' WIDE ONCOR ELECTRIC
DELIVERY COMPANY R.O.W.
N = 6935172.35

A T CUT ELEV. 676.78 LOCATED IN
WEST TOP OF CURB OF WINSOTT
ROAD APPROX. 100' SOUTH OF THE
INTERSECTION OF BENBROOK ROAD
N = 6935172.35
E = 2290815.56

[illegible]

Kimley»»Horn



2/9/2022

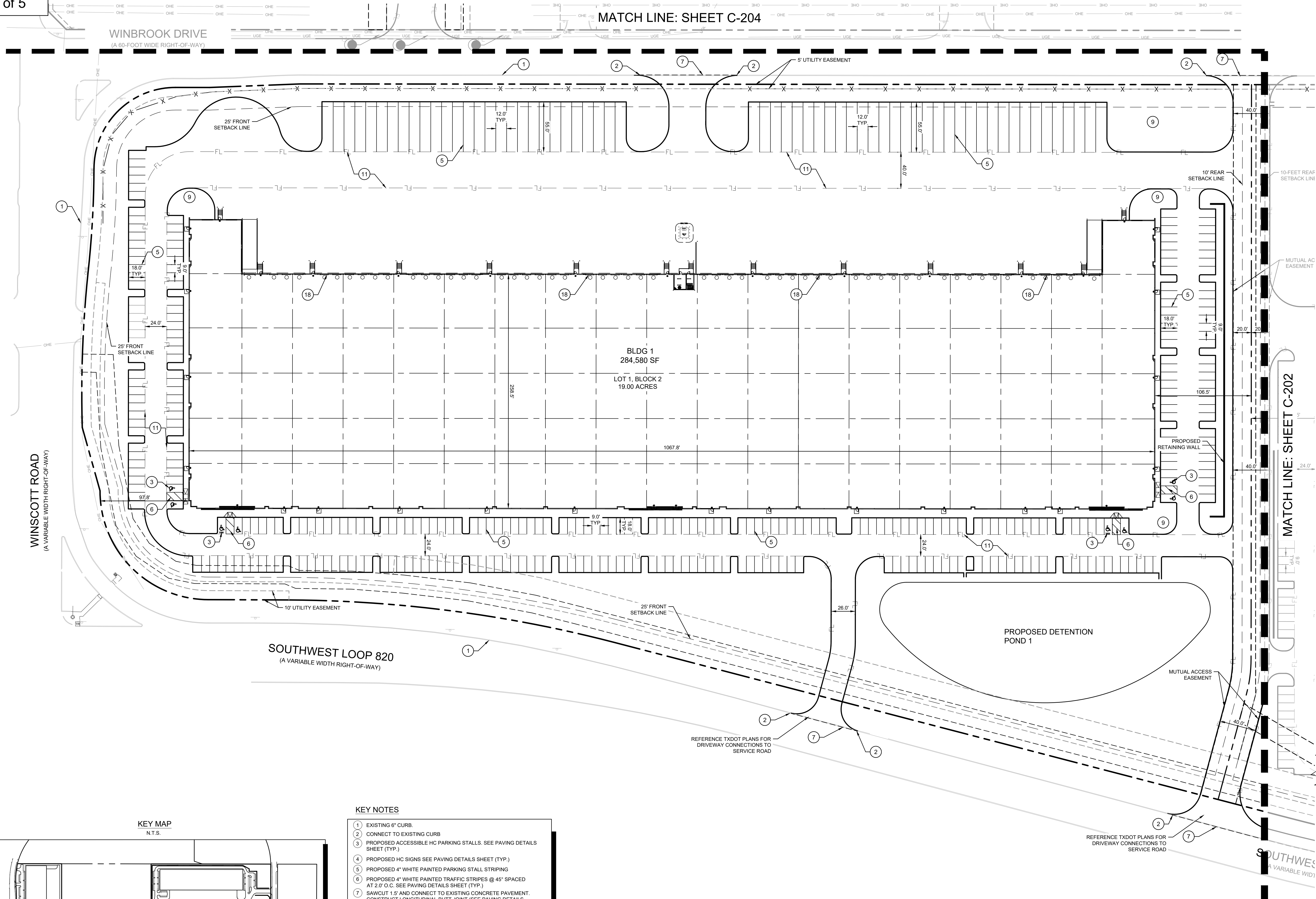
PROJECT No. 063411012
DATE: FEBRUARY 2022
SCALE: AS SHOWN
DESIGNED BY: KHA
DRAWN BY: KHA
CHECKED BY: KHA

BENBROOK INDUSTRIAL PARK

SITE PLAN - BUILDING 1

C-201

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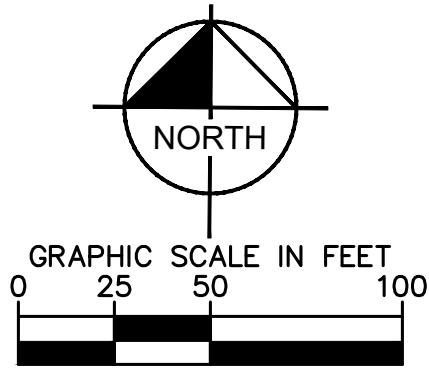
KEY NOTES

- ① EXISTING 6" CURB.
- ② CONNECT TO EXISTING CURB
- ③ PROPOSED ACCESSIBLE HC PARKING STALLS. SEE PAVING DETAILS SHEET (TYP.)
- ④ PROPOSED HC SIGNS SEE PAVING DETAILS SHEET (TYP.)
- ⑤ PROPOSED 4" WHITE PAINTED PARKING STALL STRIPING
- ⑥ PROPOSED 4" WHITE PAINTED TRAFFIC STRIPES @ 45° SPACED AT 21" C.
- ⑦ SAWCUT 1.5" AND CONNECT TO EXISTING CONCRETE PAVEMENT. CONSTRUCT LONGITUDINAL BUTT JOINT (SEE PAVING DETAILS SHEET) AND MATCH EXISTING PAVEMENT ELEVATION.
- ⑧ PROPOSED SIDEWALK. SEE LANDSCAPE PLANS.
- ⑨ PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS BY OTHERS FOR DETAILS.
- ⑩ PROPOSED 6" CURB. SEE PAVING DETAILS SHEET (TYP.)
- ⑪ PROPOSED FINE LANE STRIPING (TYP.)
- ⑫ INSTALL BOLLARD
- ⑬ INSTALL STAIRWAY. SEE ARCH. PLANS FOR DETAILS (TYP.)
- ⑭ GROUTED RIP RAP STRIP
- ⑮ PROPOSED 12" CURB. SEE PAVING DETAILS SHEET (TYP.)
- ⑯ EXISTING FIRE HYDRANT
- ⑰ STOP SIGN
- ⑱ DOCK DOORS

Site Data Building 1					
General				Required	Proposed
Proposed Use	Warehouse/ Office	Setbacks			
Existing Zone District	PD – G-Commerce	Front Setback	25 Ft.	97.8 Ft.	
	Site	Side Setback	10 Ft.	106.5 Ft.	
Legal Description	Lot 1, Block 2	Rear Setback	10 Ft.	106.5 Ft.	
Net Land Area (AC)	19.00	Parking			
Building Area (SF)	284,580	Total Parking Spaces	143	336	
Building Area: Net Land Area	0.34	ADA Spaces	5	8	
Outside Storage Area (SF)	None Currently Proposed	ADA Van Spaces	1	2	
Outside Storage Area: Net Land Area	N/A				

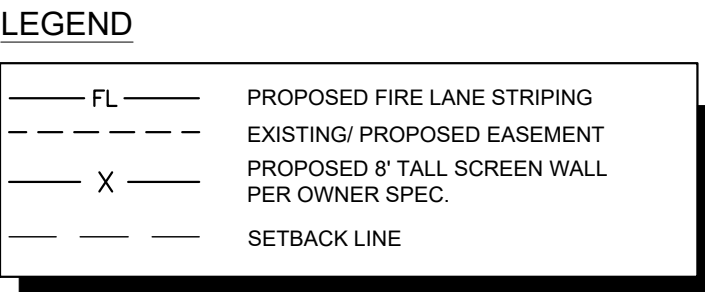
LEGEND

- _____ FL _____ PROPOSED FIRE LANE STRIPING
 _____ _____ EXISTING/ PROPOSED EASEMENT
 _____ X _____ PROPOSED 8' TALL SCREEN WALL
 _____ _____ PER OWNER SPEC.
 _____ _____ SETBACK LINE




KEY NOTES

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- 9 PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS BY OTHERS FOR DETAILS.
- 10 PROPOSED 6" CURB. SEE PAVING DETAILS SHEET (TYP.)
- 11 PROPOSED FIRE LANE STRIPING (TYP.)
- 12 INSTALL BOLLARD
- 13 INSTALL STAIRWAY. SEE ARCH. PLANS FOR DETAILS (TYP.)
- 14 GROUTED RIP RAP STRIP
- 15 PROPOSED 12" CURB. SEE PAVING DETAILS SHEET (TYP.)
- 16 EXISTING FIRE HYDRANT
- 17 STOP SIGN
- 18 DOCK DOORS

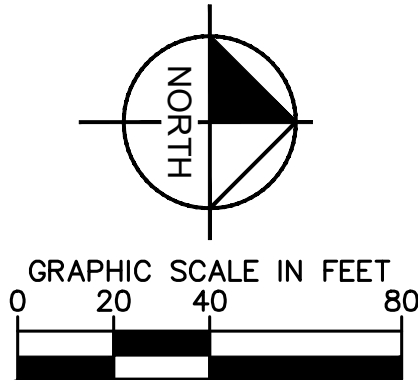


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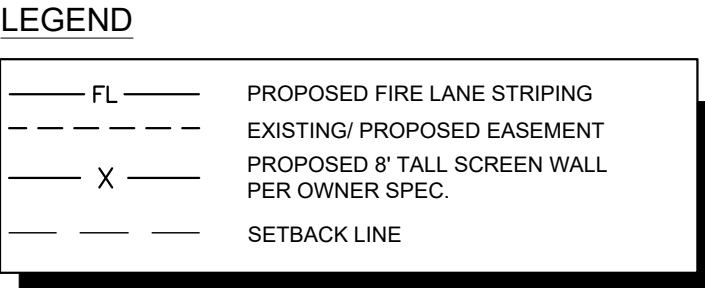
**Know what's below.
Call before you dig.**

BENCH MARK LIST
TEMPORARY BENCHMARKS
A T CUT ELEV. 681.45 LOCATED IN THE WEST CURB OF WINSCOTT ROAD AT THE SOUTH INTERSECTION OF THE 75' WIDE ONCOR ELECTRIC DELIVERY COMPANY P. O. W. N = 6935172.35 E = 2290762.14
A T CUT ELEV. 678.78 LOCATED IN WEST TOP OF CURB OF WINSCOTT ROAD APPROX. 100' SOUTH OF THE INTERSECTION OF BENRICK ROAD N = 6935172.35 E = 2290815.56



KEY NOTES

- 1 EXISTING 6" CURB.
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BENCH MARK LIST
TEMPORARY BENCHMARKS
A T CUT ELEV. 681.45 LOCATED IN THE WEST CURB OF WINSCOTT ROAD AT THE SOUTH INTERSECTION OF THE 75' WIDE ONCOR ELECTRIC UTILITY COMPANY R.O.W. N = 6935172.35 E = 2290762.14
A T CUT ELEV. 676.78 LOCATED IN WEST TOP OF CURB OF WINSCOTT ROAD APPROX. 100' SOUTH OF THE INTERSECTION OF BENBROOK ROAD N = 6935172.35 E = 2290815.56

C-204	SITE PLAN - BUILDING 4	BENBROOK INDUSTRIAL PARK	<div style="display: flex; justify-content: space-between;"> <div> <p>PROJECT No.: 063411012</p> <p>DATE: FEBRUARY 2022</p> <p>SCALE: AS SHOWN</p> <p>DESIGNED BY: KHA</p> <p>DRAWN BY: KHA</p> <p>CHECKED BY: KHA</p> </div> <div style="text-align: center;">  <p>2/9/2022</p> </div> <div> <h1 style="margin: 0;">Kimley»Horn</h1> <p>801 CHERRY ST. UNIT 11, STE 1300, FORT WORTH, TX 76102 PHONE: 817-335-6511 FAX: 817-335-5070 TEXAS REGISTERED ENGINEERING FIRM 1-4938</p> </div> </div>
No.	REVISIONS	DATE	BY

17.84.100 Architectural standards for nonresidential buildings.

A. Standards that apply to all nonresidential buildings exceeding one thousand two hundred square feet in the "CF" zoning district, and to all buildings in the "E", "F", "HC", and "G" zoning districts.

1. **Materials:** All building facades that are visible from adjoining properties and/or public streets (excluding facades facing residential property that are screened by an eight-foot masonry wall or masonry fence) shall be of architectural block, face brick, granite, marble, stucco, stone, cast stone, face tile, or tinted, textured or split-faced concrete masonry units. Glazing and framed glazing with less than twenty percent reflectance are considered acceptable alternatives. Tilt-up concrete construction is permitted, providing the exterior surface is textured or covered with brick, stone, or material fabricated to simulate brick or stone. Stucco and ELFS (Exterior Insulation Finished System) are permitted, provided they are located ten feet above ground and do not exceed twenty percent of a façade area. Smooth concrete block and prefabricated metal panels are prohibited.

Glazing doors, windows and door frames, roof system trim, mansards, and similar visible exterior treatments shall be made of materials which complement construction materials. Accessory buildings shall be constructed of materials that complement the main structure. When rear facades are visible from adjoining properties and/or a public right-of-way, they shall be of a finished quality and consist of colors and materials that blend with the remainder of the building's primary facades.

A meritorious exception in accordance with paragraph D below may be granted to the above requirements for non-principal buildings (e.g. accessory buildings) that do not exceed one thousand two hundred square feet in floor area. In considering such an exception, the planning and zoning commission shall consider the character of the area, the reasonableness of the requirement, and may impose conditions on the exception to protect adjacent properties and promote community appearance.

For any non-façade walls that are not visible from adjacent property or a public right-of-way, the following materials shall be permitted:

- a. Smoothed-faced concrete block that is non-tinted or non-burnished;
 - b. Tilt-up concrete panels that are unadorned or untextured; or
 - c. Pre-fabricated steel panels.
2. **Colors:** All surfaces shall be low-reflectance, subtle, neutral or earth tone colors (such as white, tan, brown and gray.) Metallic or fluorescent colors are prohibited. Trim and accent areas may feature brighter colors, including primary colors. Accent colors on each façade shall be limited to a maximum of twenty-five percent of the faced area for logo colors and a maximum of ten percent of the façade area for other accent colors. A logo color is a color commonly used by a large retail store as an identifying characteristic.
 3. **Ground-Mounted and Roof Top Mechanical Equipment:** All ground-mounted equipment shall be screened from view with masonry construction similar to the primary structure.

All roof-mounted equipment including, but not limited to, fans, vents, air conditioning units, cooling towers, and alternative energy systems (installed on a flat roof) shall be screened so as not to be visible at ground level from adjacent properties and/or public rights-of-way. The overall screening height shall be the height of the highest element of roof-mounted equipment. The outside of the screening device, if independent of the building façade, shall be painted or otherwise finished in a similar color to the color of the building façade, trim, or roof surface, whichever color is more effective in minimizing the visibility of the equipment and screen from ground level.

4. **Outdoor Storage, Service and Loading Areas:**

-
- a. Areas for outdoor storage, truck parking, trash collection/compaction, loading and unloading, or other such uses shall not be visible from abutting streets, adjacent non-industrial properties and/or public/private streets. Service areas including, but not limited to, loading docks and truck courts shall be oriented away from the view of any freeway or public streets or adjacent residential zoning district or use unless screened by an eight-foot masonry wall and/or masonry fence extending the entire length of the service area. Such service areas shall have additional screening along the exterior side of the masonry wall and/or masonry fence in the form of evergreen landscaping which must be opaque and eight feet in height within eighteen months of planting.
 - b. Permanent outdoor display, sales and storage: Merchandise may be stored or displayed for sale to customers in areas contiguous to the front or side of the building. This area shall be enclosed by a minimum eight-foot wall of like appearance to the building or a base of like appearance to the building topped by wrought iron or tubular steel fencing with the minimum total height being eight feet. The masonry base enclosing this area shall be at least three feet in height.
 - c. Automotive service bays, overhead doors, or other service areas shall be oriented away from the view of any freeway, public street, or adjacent residential zoning district or use unless screened by a minimum eight-foot masonry wall and/or masonry fence.
 - d. Shopping Cart Storage: Shopping carts may be stored outside the front of the building provided there are no more than two cart storage areas (one on each side of the entryway). The cart storage area shall be screened with building materials substantially similar to the building façade.
- B. Architectural Features that Apply to Single-Tenant Buildings over Five Thousand Square Feet in Floor Area or Multi-tenant Buildings with a Single Main Entrance.
1. Horizontal Façade Articulation: No building façade shall extend for a distance greater than three times the mean elevation of the wall's height without having an offset of fifteen percent or more of the wall's height. This offset shall extend for a distance equal to at least twenty-five percent of the maximum length of either adjacent plane.
 2. Vertical Façade Articulation: No horizontal wall shall extend for a distance greater than three times the height of the wall without changing height by a minimum of fifteen percent of the wall's height. This height change shall continue for a minimum distance equal to at least twenty-five percent of the maximum length of either adjacent plane.
 3. Additional Architectural Features: Ground floor façade walls shall incorporate the following features:
 - a. Entryway features (at least three of the five items from the following list):
 - i. Raised cornice parapets over the door, peaked rook forms having an average slope greater than or equal to a minimum 5:12 pitch, arches, or architectural details such as tile work and moldings that are integrated into the building structure and design.
 - ii. Integral planters or wing walls that incorporate landscaped areas and/or places for sitting;
 - iii. Enhanced exterior lighting such as wall sconces, light coves with concealed light source, ground-mounted accent lights, or decorative pedestal lights;
 - iv. Prominent three-dimensional entryway features projecting from the plane of the main exterior walls by a minimum of eight feet and raised above the adjoining parapet wall/roof by a minimum of three feet, clock towers and other similar architectural design elements; and

-
- v. Pilasters projecting from the plane of the wall by a minimum of eight inches and/or architectural or decorative columns to create visual breaks and interest in the façade walls and exterior walls.
 - b. Detail Features: Building façade walls shall include a repeating pattern that incorporates no less than two of the five elements listed below. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty feet, either horizontally or vertically.
 - i. Color change;
 - ii. Texture change;
 - iii. Material change;
 - iv. Architectural or structural bays created through a change in plane no less than twenty-four inches wide such as an offset, reveal, or projecting rib; and/or
 - v. Repetitive ornamentation including decorative applied features such as wall-mounted fixtures or applied materials. Repetitive ornamentation shall be located with a maximum spacing of fifty feet.
 - C. Architectural Features that Apply to Multiple-Tenant Buildings Over Five thousand square feet in Floor Area with Separate Entrances for Each Tenant.
 - 1. Vertical Façade Articulation: No horizontal wall shall extend for a distance greater than three times the height of the wall without changing height by a minimum of fifteen percent of the wall's height. This height change shall continue for a minimum distance equal to at least twenty-five percent of the maximum length of either adjacent plane.
 - 2. Additional Architectural Features: Ground floor façade walls shall incorporate the following features:
 - a. Entryway features (at least three items from the four in the following list):
 - i. Integral planters or wing walls that incorporate landscaped areas and/or places for sitting;
 - ii. Enhanced exterior lighting such as wall sconces, light coves with concealed light source, ground-mounted accent lights, or decorative pedestal lights;
 - iii. Prominent three-dimensional entryway features projecting from the plane of the main exterior walls by a minimum of eight feet and raised above the adjoining parapet wall/roof by a minimum of three feet, clock towers and other similar architectural design elements; and
 - iv. Pilasters projecting from the plane of the wall by a minimum of eight inches and/or architectural or decorative columns to create visual breaks and interest in the façade walls and exterior walls.
 - b. Pedestrian Features:
 - i. Arcades, covered walkways, architectural awnings, canopies or porticoes are required along one hundred percent of the primary façade and/or street facing facades.
 - ii. Display windows, faux windows, decorative windows or regular fenestration are required along one hundred percent of the primary façade and/or street facing façade.
 - c. Detail Features: Building façade walls shall include a repeating pattern that incorporates no less than two of the elements listed below. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty feet, either horizontally or vertically.

-
- i. Color change;
 - ii. Texture change;
 - iii. Material change;
 - iv. Architectural or structural bays created through a change in plane no less than twenty-four inches wide such as an offset, reveal, or projecting rib; and/or
 - v. Repetitive ornamentation including decorative applied features such as wall-mounted fixtures or applied materials. Repetitive ornamentation shall be located with a maximum spacing of fifty feet.

D. Meritorious Exceptions.

The planning and zoning commission may waive any of the specific requirements of this subsection to approve alternate materials, colors, or architectural designs that meet the city's goal of attractive, human-scale architectural style in an innovative or unique manner.

In considering the request, the planning and zoning commission shall consider the following factors in determining the extent of any exception granted:

1. The extent to which the application meets other specific standards of the architectural requirements;
2. The extent to which the application meets the spirit and intent of this chapter through the use of alternative building materials, colors, and façade design to create a building of high quality and appearance;
3. The positive or negative impact of the proposed project on surrounding property use, in comparison to the expected impact of a project, which could be built in conformance with standards of this section; and
4. The extent to which the proposed project accomplishes city goals as stated in the comprehensive plan or other approved document.

A meritorious exception shall not be granted to only serve as a convenience to the applicant, or only for reasons related to economic benefit.

(Ord. No. 1344, § 1, 10-18-2012; Ord. No. 1350, § 11, 7-18-2013; Ord. No. 1393, § 23, 1-21-2016 ; Ord. No. 1398 , § 6, 8-18-2016; Ord. No. > 1407 , § 1, 3-16-2017)